

10/24/2024

Board of Adjustment  
City of Missoula  
435 Ryman Street  
Missoula, Montana 59802

RE: Variance Request  
Willow Wood Mixed-Use Development  
Lot 4 Willow Wood Village / 4106 Weeping Willow Drive

Dear Board Members:

This letter is intended to introduce you to our proposed project, outline specific hardships and request consideration for two variances based on those hardships.

The proposed project is to develop a mixed-use building with (8) residential units and (3) small commercial suites. The site has been undeveloped for years given a number of significant challenges related to setbacks, easements and limited access. The PUD (ordinance number 3035) was established August 25<sup>th</sup>, 1997, under Mayor Mike Kadas and Title-19 zoning. It remains the only undeveloped lot in the PUD.

Because the site is part of a PUD that was approved under Title-19 zoning, the following requests pertain to those ordinances as follows:

1. We request a variance from the setback requirements which would allow for the proposed building to encroach into the 20' Side Street Setback on Gharrett Street. When the PUD was established, it depicted the parking lot at the North end of the parcel with access from Weeping Willow Drive. That access is extremely close to the intersection with 39<sup>th</sup> and not only serves additional residential buildings but also serves as a traffic corridor access to Walmart nearby and is often congested. Currently, City Engineering Department would not support development of the proposed access point as shown on the approved plat. This has resulted in the need (and requirement from City Engineering) to accommodate the parking at the South end of the site which significantly reduces the buildable envelope considering the Title-19 zoning requirement of a 20'-0" setback from both 39<sup>th</sup> street & Gharrett Street. Additionally, the PUD indicates a 20' setback intended to protect an existing, large old Willow tree located between Lots 1 and 4. Current RT10 zoning (title 20) indicates a side setback of 10' (Gharrett Street). We proposing an 8'-0" encroachment into the current 20' setback, placing the building no less than 12'-0" from the property line, still well within the current 10'-0" RT10 zoning setbacks under title 20.

In examining the approved PUD documents and plat, it appears that the required 20' west setback was incorrectly shown, indicating a larger buildable envelope than is and was actually available. Given the various existing site constraints and the incorrectly depicted available development area, it would be nearly impossible to develop a building with the allowed density within the depicted buildable envelope.

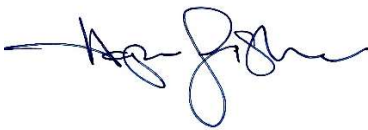
2. We request a variance which would allow development of (2) residential dwelling units on the building's main level with the remaining residential units on the second level. While not required in residential buildings under 20 dwelling units, the owner is proposing to

include (2) accessible units to allow for more flexibility for the tenants. Aside from development, the owner runs a homecare company locally in Missoula and sees the added benefit/need for this type of unit. The surrounding residential buildings in the PUD all have main-level residential units so our proposal would fit within the current neighborhood vernacular.

Our proposed conceptual design complies with all other applicable requirements per the PUD language and Title-19 zoning. We do not request variances related to parking, on-site landscaping or buffering as those requirements are all currently met.

Please see the attached exhibits which demonstrate the proposed project and site conditions and also the schematic building elevation 3D images to help graphically represent the request. We respectfully request your consideration of this request and look forward to discussing the project with you.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Hope Fisher', with a stylized, flowing script.

Hope Fisher, Project Manager  
Gavin Hanks Architects

Attachments:

- Missoula BOA Application
- PUD Plat Exhibits
- Site Plan
- Basement Floor Plan
- First Floor Plan
- Second Floor Plan
- 3D Images



**DEVELOPMENT SERVICES**

435 RYMAN • MISSOULA, MT 59802 - 4297 • (406) 552-6630 • FAX:

**MISSOULA CITY BOARD OF ADJUSTMENT  
APPLICATION**

Date: 08-14-2024

Meeting Date: TBD - ZONING

Applicant Name: 818 W. CENTRAL LLC

Address: 4110 WEeping WILLOW DR Phone 406.425.2612  
MISSOULA, MT 59803-1072 Phone 406.360.4730

Agent Name: HOPE FISHER - PROJECT MANAGER @ GAVIN HANKS ARCHITECTS

Address: 1605 STEPHENS AVE.,  
MISSOULA, MT 59801 Phone 406.543.1477

Project Address/Location: 4106 WEeping WILLOW DRIVE

Request Type: 1. VARIANCE FOR STREET SIDE SETBACK  
2. VARIANCE FOR RESIDENTIAL UNITS ON THE MAIN FLOOR

**The following items must be submitted as part of the application:**

Legal Description WILLOW WOOD VILLAGE - PHASE 2, S06, T12 N, R19 W, Lot 4,

Lot(s): 4; Block(s): \_\_\_\_\_; Subdivision: WILLOW WOOD VILLAGE

Section: 06; Township: 12 N; Range: 19 W

COS# \_\_\_\_\_

WILLOW WOOD PLANNED UNIT DEVELOPMENT OVERLAY ZONING DISTRICT  
Zoning: (ORDINANCE 3035) WITH A BASE ZONING OF ~~RT-10~~ RLD-4 (Title 19)

**11 PACKETS CONTAINING THE FOLLOWING ITEMS:**

- a. Application
- b. Cover Letter
- c. Site Plan/ Landscaping Plan – 11” x 14” or smaller (to scale)
- d. Elevation Drawings – 11” x 14” or smaller (to scale)
- e. Topography Map, if applicable – 11” x 14” or smaller (to scale)
- f. Floor Plan

## MISSOULA CITY BOARD OF ADJUSTMENT APPLICATION

### **APPLICANT'S RESPONSIBILITY**

The burden of proof for an applicable hardship and justification of proposal lies with the applicant. The applicant or the applicant's agent must be present at the meeting. Failure to appear at the meeting is grounds for denial of the variance request.

### **CHAPTER 20.90.010, BOARD OF ADJUSTMENT, AUTHORITY**

A board of adjustment is established as authorized by §76-2-321 through §76-2-328, MCA. The board of adjustment is responsible for conducting public hearings and making decisions in accordance with the procedures of this zoning ordinance and state law.

### **BOARD OF ADJUSTMENT HAS THE AUTHORITY TO REVIEW:**

1. Variance Requests (Section 20.85.090)
2. Appeals of Administrative Decisions (Section 20.85.100)
3. Special Exceptions (Section 20.75.090) and Sign Variances (Section 20.75.130)

### **VARIANCE APPROVAL**

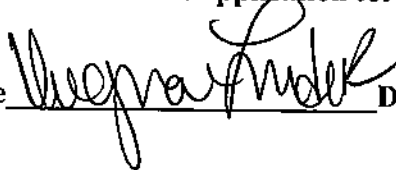
An approved zoning variance will lapse and have no further effect 2 years after it is granted by the board of adjustment or 2 years after a final court order is issued (if the variance is the subject of litigation), unless all of the following occur:

- a) a building permit has been issued (if required);
- b) a zoning compliance permit has been issued; and
- c) a final certificate of zoning compliance has been issued.

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I hereby attest that the information on this application form is accurate and complete.

Property Owner's Signature



Date

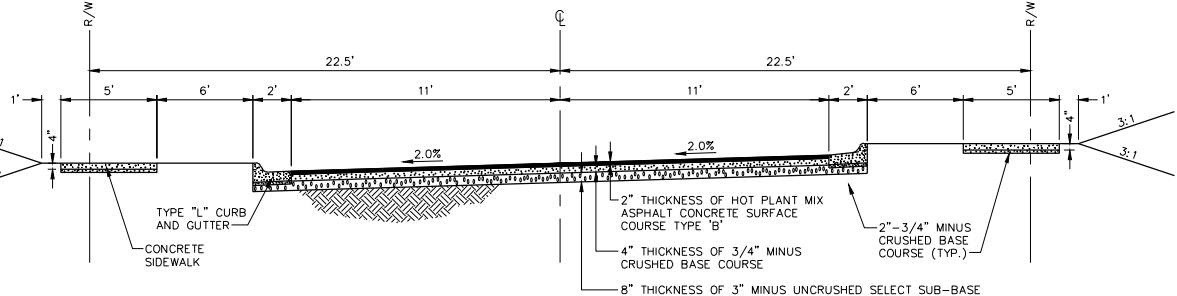
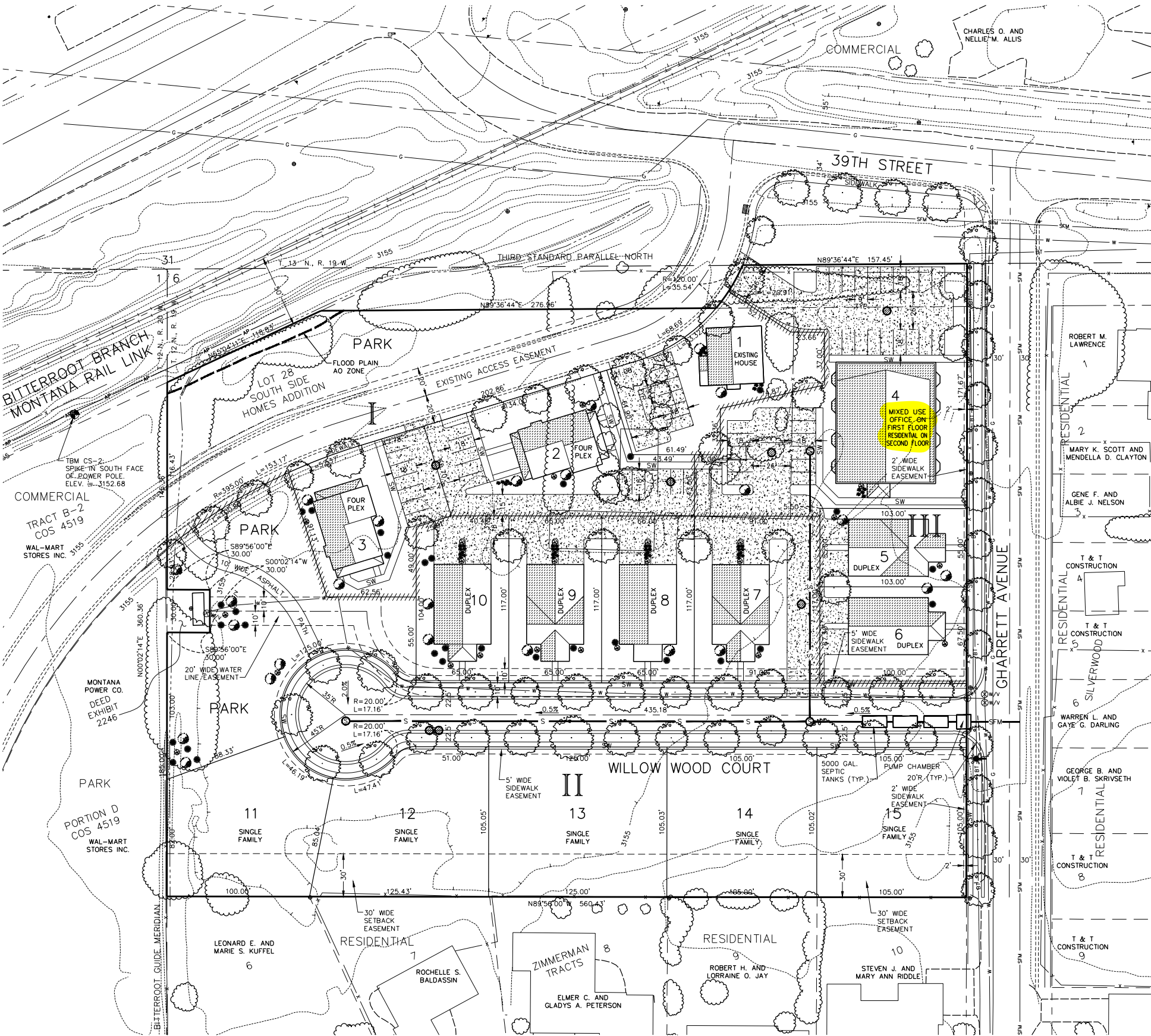
8/20/24

I, 818W Central, LLC, owner of the said property authorize Hope Fisher to act as my agent in this application.



PRELIMINARY PLAT OF  
**WILLOW WOOD VILLAGE**

A SUBDIVISION OF THE CITY OF MISSOULA, MONTANA  
LOCATED IN THE NW 1/4 NW 1/4 OF SECTION 6,  
T. 12 N., R. 19 W., PRINCIPAL MERIDIAN, MONTANA



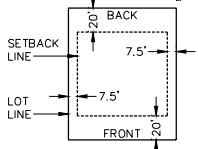
LOOKING WEST  
**WILLOW WOOD COURT**  
**TYPICAL STREET SECTION**  
NO SCALE

**EXISTING LEGEND**

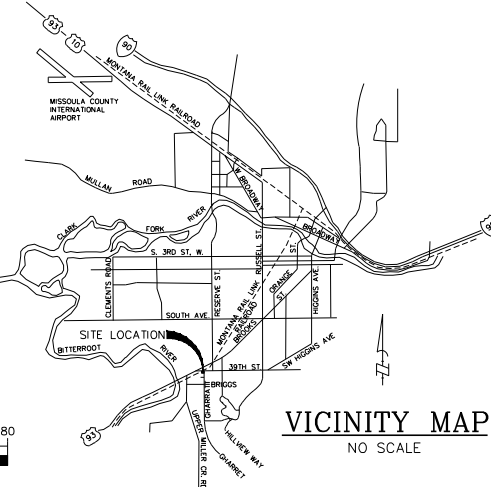
- PROPERTY LINE
- EDGE OF ASPHALT
- CURB AND GUTTER
- WATER MAIN
- SEWER FORCE MAIN
- AERIAL POWER
- GAS LINE
- BURIED TELEPHONE
- FENCE
- RAILROAD TRACKS
- CONTOUR (1 FOOT INTERVAL)
- POWER POLE
- CURB INLET

**PROPOSED LEGEND**

- EDGE OF ASPHALT
- CURB AND GUTTER
- SIDEWALK (5' WIDE)
- SANITARY SEWER LINE
- SANITARY SEWER FORCE MAIN
- DRIVEWAYS
- PHASE BOUNDARY
- PHASE NUMBER
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- DRAINAGE SUMP
- ACER RUBRUM "NORTHWOOD" NORTHWOOD RED MAPLE
- SHRUBS



TYPICAL BUILDING SETBACKS



**VICINITY MAP**  
NO SCALE

LOT AREAS AND ADDRESSES			
LOT	AREA (SQ.FT.)	STREET	ADDRESS
1	9,630	39TH STREET	
2	13,149	"	
3	9,136	"	
4	26,444	"	
5	5,665	GHARRATT AVENUE	
6	6,952	"	
7	10,296	"	
8	7,605	"	
9	7,605	"	
10	7,507	"	
11	10,477	"	
12	11,301	"	
13	13,130	"	
14	11,027	"	
15	11,026	"	
		GHARRATT AVENUE	

**AREAS**

LOT AREA = 3.69 ACRES  
PARK (LESS ACCESS EASEMENT) = 0.74 ACRES  
STREET AREA DEDICATED = 0.55 ACRES  
WAL-MART ACCESS = 0.35 ACRES  
TOTAL AREA = 5.33 ACRES

**BASIS OF BEARINGS**  
CERTIFICATE OF SURVEY NO. 4519

**OWNER**  
EXCHANGE SERVICES INC.

**DEVELOPER**  
T & T DEVELOPMENT, L.L.P.

**COMPREHENSIVE PLAN**  
URBAN RESIDENTIAL

**TYPE OF SUBDIVISION**  
RESIDENTIAL/COMMERCIAL

**ZONING**  
RLD-4

**CERTIFICATE OF ENGINEER**

I HEREBY CERTIFY THAT THE STREET, STORM DRAINAGE, SEWER, AND WATER PLANS WERE PREPARED UNDER MY SUPERVISION.

**CERTIFICATE OF SURVEYOR**

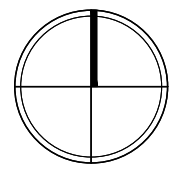
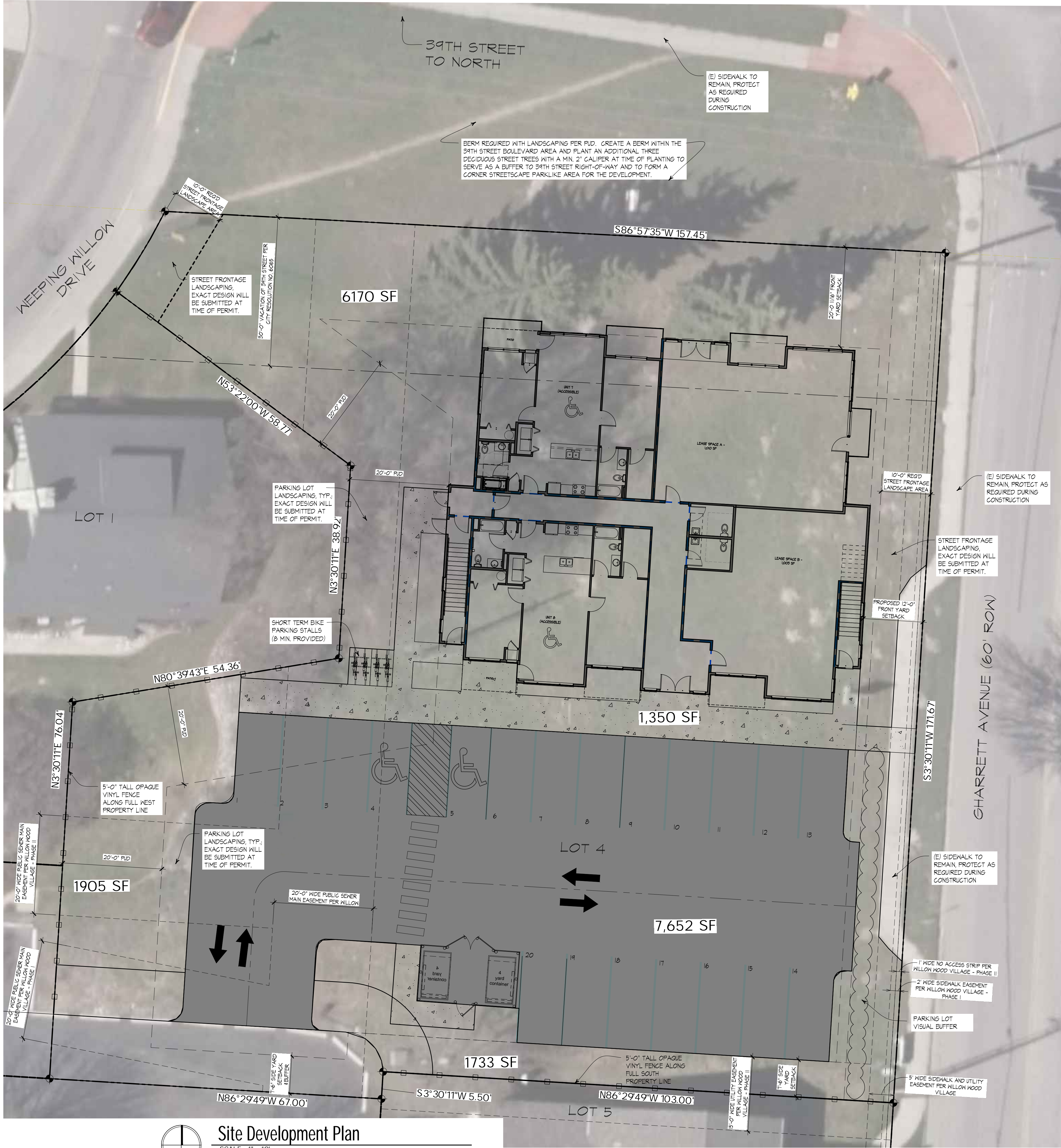
I HEREBY CERTIFY THAT THE BOUNDARY AND LOT DESIGNS OF THIS PROPOSED SUBDIVISION WERE PREPARED UNDER MY SUPERVISION.

1/4	SEC.	T.	R.
1	12N.	19W.	

SHEET 1 OF 1  
DRAWING DATE: JULY 30, 1997  
DRAFT: CEG  
PROJECT NO.: 94-01-24  
FILE NO.: 0-58/940124PP.DWG

**WGM group**  
ENGINEERING • SURVEYING • PLANNING  
3021 Palmer • (406) 728-4611  
P.O. Box 3418 • Missoula, MT 59806





## Site Development Plan

SCALE: 1" = 10'

## Zoning Info

GEOCODE: 04-2093-06-2-21-04-0000  
LEGAL: WILLOW WOOD VILLAGE - PHASE 2, S06, T12 N, R14 W, Lot 4, 26000 SQUARE FEET  
ZONING: WILLOW WOOD PLANNED UNIT DEVELOPMENT OVERLAY ZONING DISTRICT WITH A BASE ZONING OF **RLD-4**

SETBACKS:  
- FRONT: 20'-0" (ALLOWANCES FOR 5'-0" PORCH ENCROACHMENT)  
- SIDE: 7'-6"  
- REAR: 20'-0"

HEIGHT PER PUD: 30'-0" MAX OR TWO STORIES IN HEIGHT

## Parking Requirements (TITLE 19.78)

OFF-STREET PARKING REQUIREMENTS:  
- DWELLING UNITS  
- EFFICIENCY UNITS - (1) SPACE / DWELLING UNIT  
- 1 OR 2 BEDROOM UNITS - (1.5) SPACES / DWELLING UNIT  
- 3 OR MORE BEDROOM UNITS - (2) SPACES / DU + (1/2) SPACE FOR ANY UNITS OVER THREE BEDROOMS

COMMERCIAL OFFICE SPACE = 1 STALL PER 400 SF OF GLFA

2,019 SF / 400 = 5 STALLS  
6 - (1) BED UNITS = 9 STALLS  
2 - (2) BED UNITS = 3 STALLS  
17 PARKING STALLS REQ'D  
20 PROVIDED

PARKING LOCATIONS  
- SOUTH OF THE MAIN BUILDING PER LETTER FROM PUBLIC WORKS DATED SEPTEMBER 15TH, 2023

ACCESSIBLE PARKING REQUIREMENTS  
- 1-25 PARKING SPOTS 1 REQ'D, 1 VAN 2 PROVIDED FOR ACCESSIBLE UNITS

## Bicycle Parking Requirements

BICYCLE PARKING FACILITIES (PUD):  
- CLASS II: MINIMUM 8 SPACES, NO MORE THAN 20'-0" FROM ENTRANCE TO BUILDING  
- CLASS I: LONG TERM/HIGH SECURITY (PROVIDED IN BASEMENT)  
- 2 SPACES / 2-3 BEDROOM  
- 1 SPACE / 1 BEDROOM

## Area Calculations (S.F.)

(N) ASPHALT PARKING = 1,652 S.F.  
(N) SIDEWALK = 1,350 S.F.  
(N) LANDSCAPE = 9,808 S.F.  
BUILDING (FOOTPRINT) = 5,214 S.F.

## Legend

--- PROPERTY BOUNDARY, SEE CIVIL DRAWINGS  
--- SETBACK  
□ 5' TALL VINYL FENCE

CONCRETE SLAB  
ASPHALT PARKING LOT  
PARKING LOT REQ'D VISUAL BUFFER:  
4'-0" (MIN) TALL HEDGE W/ LESS THAN 50% OPACITY.

## On-site Landscaping (19.77.040)

AT LEAST 15% OF THE TOTAL LOT AREA TO BE DEVELOPED SHALL BE LANDSCAPED. LANDSCAPING PROVIDED ON-SITE THAT CONTRIBUTES TO STREET FRONTAGE LANDSCAPING, BUFFER LANDSCAPING, SCREENING LANDSCAPING AND PARKING LOT LANDSCAPING CONTRIBUTES TO THIS MINIMUM.  
- LOT 4: 26,128 SF  
26,128 \* 0.15 = 3,919 SF REQ'D MINIMUM

PROVIDED: 9,808 S.F.

BOULEVARD TREES, ON A ONE-TO-ONE BASIS, CONTRIBUTE TOWARD THE ON-SITE TREE REQUIREMENT AND MUST COMPLY WITH CHAPTER 12.32.  
ON-SITE LANDSCAPING: THE REQUIRED FIFTEEN PERCENT LANDSCAPE AREA SHALL BE PLANTED AT ONE TREE PLANTED PER ONE THOUSAND SQUARE FEET AND ONE SHRUB PER ONE HUNDRED SQUARE FEET.

## Street Frontage Landscaping (19.77.050)

STREET FRONTAGE LANDSCAPING SHALL BE PROVIDED ALONG LOT FRONTAGES ADJACENT TO PUBLIC STREET RIGHT-OF-WAY. THE STREET FRONTAGE LANDSCAPED AREA SHALL BE A MINIMUM OF TEN (10) FEET WIDE MEASURED FROM THE PROPERTY LANE AND SHALL EXTEND ALONG THE FULL LENGTH OF THE STREET FRONTAGE, UNLESS THE SETBACKS OF THE ZONING DISTRICT PERMIT A LESSER WIDTH.

FOR PAVED VEHICULAR USE AREAS ALONG LOT FRONTAGES ADJACENT TO A PUBLIC STREET RIGHT-OF-WAY, A TEN (10) FOOT WIDE STREET FRONTAGE LANDSCAPED AREA IS REQUIRED. NO PART OF ANY VEHICLE SHALL INTRUDE INTO A STREET FRONTAGE LANDSCAPED AREA.

PAVED WALKWAY AREAS SHALL NOT TOTAL MORE THAN TEN (10) PERCENT OF THE STREET FRONTAGE LANDSCAPED AREA.

ALL STREET FRONTAGE LANDSCAPE AREAS SHALL BE PLANTED WITH TREES, SHRUBS, GRASS/VEGETATIVE GROUNDCOVER AND MAY INCLUDE BERMING. PAVED WALKWAY AREAS SHALL NOT TOTAL MORE THAN TEN (10) PERCENT OF THE STREET FRONTAGE LANDSCAPED AREA.

THERE SHALL BE NO FEWER THAN ONE TREE PLANTED PER FIVE HUNDRED SQUARE FEET AND ONE SHRUB PLANTED PER ONE HUNDRED SQUARE FEET OF TOTAL REQUIRED LANDSCAPED AREA.

TOTAL SF = 26,128 SF  
SIDEWALK SF = 912 SF  
912 SF / 26,128 SF = 13%

## Buffering & Screening (19.77.060)

NEW NON-RESIDENTIAL USES AND MIXED-USE BUILDINGS SHALL PROVIDE A BUFFER ADJACENT TO EXISTING RESIDENTIAL USES AND RESIDENTIAL ZONING DISTRICTS EXCEPT YARDS ADJACENT TO ALLEYS.

WALLS OR FENCES MAY BE USED AS PART OF A BUFFER OR SCREEN. THEY SHALL BE A MIN. OF FIVE FEET HIGH AND A MAX. OF SIX FEET HIGH ALONG SIDE OR REAR YARD PROPERTY LINES. FENCES MUST BE SOLID. PAVED VEHICULAR USE AREAS MAY EXTEND INTO THE BUFFER AREA (1 1/2' WIDE) IF A FENCE OR WALL MEETING THE BUFFER STANDARDS IS PROVIDED ALONG THE PROPERTY LINE.

TRASH RECEPTACLES SHALL BE SCREENED WITH A SOLID WALL OR FENCE AND SHALL NOT BE LOCATED IN A PRIMARY OR SECONDARY FRONT YARD SETBACK.

## Parking Lot Landscaping (19.77.070)

PARKING LOT LANDSCAPING, IN AN AMOUNT EQUAL TO TEN (10) PERCENT OF THE PAVED VEHICULAR USE AREA, SHALL BE PROVIDED FOR THE FOLLOWING:  
- NEW CONSTRUCTION OF BUILDINGS OVER THREE THOUSAND (3,000) SQUARE FEET OF GROSS FLOOR AREA  
PARKING LOT LANDSCAPING SHALL BE PROVIDED FIRST AS INTERIOR PARKING LOT LANDSCAPED ISLANDS. IF THE TEN (10) PERCENT PARKING LOT LANDSCAPING IS NOT MET BY INTERIOR PARKING LOT ISLANDS, THEN LANDSCAPING BORDERING PAVED PARKING AREAS, MEASURING A MINIMUM OF SIX (6) FEET AND NOT MORE THAN FIFTEEN (15) FEET IN DEPTH FROM THE EDGE OF PAVING MAY BE COUNTED TOWARD THE REQUIRED PARKING LOT LANDSCAPING REQUIREMENT.

- PARKING = 1,652 SF  
- 10% REQUIRED = 165 SF  
PROVIDED PARKING LOT LANDSCAPING = 1,183 SF

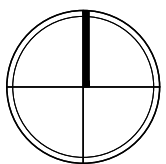
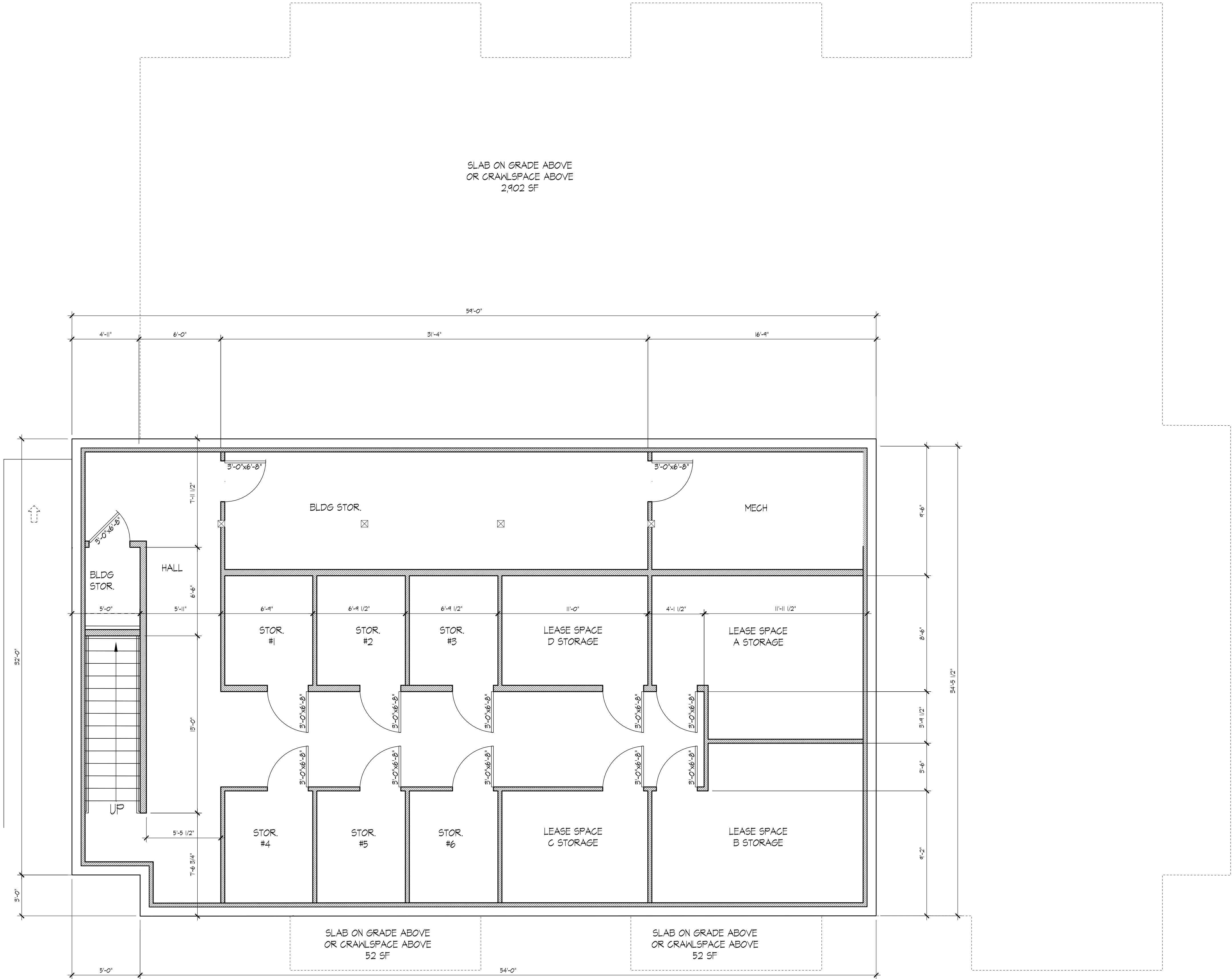
PARKING LOT DESIGN: VISUAL BUFFER SHALL BE INCORPORATED INTO THE PARKING LOT DESIGN TO REDUCE THE VISUAL IMPACT OF THE PARKING LOT WHEN PAVED VEHICULAR USE AREAS ARE LOCATED ADJACENT TO A PUBLIC STREET.

PROVIDE A HEDGE FOUR (4) FEET HIGH AND FIFTY PERCENT MINIMUM OPACITY BETWEEN THE PARKING LOT AND RIGHT-OF-WAY.

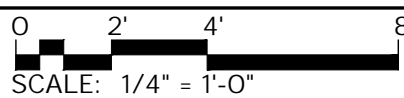
## PUD Landscaping Conditions

IRRIGATION REQUIRED  
(6A) PRESERVE THE MATURE WEEPING WILLOW TREES ON THE SITE (NOT THERE AS OF TODAY) AND PROVIDE A TREE REMOVAL PLAN AND A COMPARABLE TREE REPLACEMENT PLAN FOR THE REMOVAL OF OTHER TREES ON THE PROPERTY.  
(6B) IN ADDITION TO THE BOULEVARD LANDSCAPING ALONG THE NORTH AND EAST SECTIONS OF LOT 4, PLANT AN ADDITIONAL (3) DECIDUOUS STREET TREES WITH A MINIMUM 2" CALIPER FOR A BUFFER BTWN LOT 4 & 34TH STREET ROW AND TO FORM A CORNER STREETSCAPE PARKLIKE AREA FOR THE DEVELOPMENT.  
(6C) IN ADDITION TO INTERIOR LOT LANDSCAPING, PLANT ADDITIONAL LOW-LYING LANDSCAPING TO A 4-5' HEIGHT LEVEL TO SERVE AS A BUFFER BETWEEN THE OFF-STREET PARKING AREA AND THE ADJACENT LOT USES. PLANT AN ADDITIONAL (3) 2" CALIPER DECIDUOUS TREES IN THE PLANTERS ALONG THE SOUTH END OF THE LOT 1 USE PARKING LOT.  
(7) ALL TREES PLANTED ON-SITE AND IN THE BOULEVARD SHALL BE OF A HARDY, INSECT RESISTANT SPECIES, BE OF DECIDUOUS VARIETY, AND A MINIMUM OF 2" CALIPER AT PLANTING.





## Basement Floor Plan



SCALE: 1/4" = 1'-0"

GROSS SF = 2,089 SF

## General Notes:

- ALL BEDROOMS TO HAVE EGRESS WINDOWS SEE PLAN, VERIFY WITH MANUFACTURER.
- ALL DOORS TO HAVE FOLLOWING LOCK SETS:
  - ENTRY - UNIT ENTRIES, STORAGE, DECK/PORCH DOORS.
  - PRIVACY - BEDROOMS, BATHROOMS
  - PASSAGE - CLOSETS, STORAGE, LAUNDRY, LINEN
  - STOREROOM - MECH. ROOM
- ALL INTERIOR WALLS ARE 2X4 (I-C) WOOD STUD WALLS U.N.O. SEE ASSEMBLIES SHEET.
- REFERENCE WINDOW HEAD HEIGHT ON BUILDING SECTIONS AND ELEVATIONS FOR ALL WINDOWS, SILL FOR EGRESS WINDOWS IN BEDROOMS SHALL NOT BE GREATER THAN 44" FROM THE FINISHED FLOOR - VERIFY W/ WINDOW MFR.
- BID FIBERGLASS WINDOWS AS BASE W/ GLAD WINDOW AS ALTERNATE.
- ALL WINDOWS TO BE STANDARD INSULATED GLASS OR BETTER.
- WINDOW MANUFACTURER TO PROVIDE ALL ROUGH OPENINGS, TYP.
- CONTRACTOR SHALL VERIFY ALL SIZES & QUANTITIES OF WINDOWS. THE FOLLOWING LOCATIONS OF GLAZING SHALL BE CONSIDERED HAZARDOUS LOCATIONS (TEMPERED):
  - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF.
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR
  - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36" ABOVE THE FLOOR
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36" INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OR EITHER VERTICAL EDGE OF THE DOOR IN THE CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
  - GLAZING IN ALL DOORS.
  - GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
- PROVIDE 20"x36" ATTIC ACCESS FIELD VERIFY LOCATION. MINIMUM HEADROOM ABOVE ALL ATTIC ACCESSSES TO BE 30" - VERIFY.
- OWNER TO SELECT ENTRY DOOR STYLE.
- ALL CONSTRUCTION SHALL CONFORM TO THE MOST CURRENT IBC REQUIREMENTS.
- SETBACKS AND SIDE YARDS SHALL CONFORM TO LOCAL REGULATIONS - ALL POURED CONCRETE FOOTINGS COLUMNS AND WALLS SHALL BE ON UNDISTURBED VIRGIN SOIL.
- ALL LUMBER SHALL BE NO. 2 OR BETTER FIR & LARCH.
- JOISTS, BEAMS & COLUMNS EXPOSED TO WEATHER TO BE P.T.
- LUMBER USED FOR EXPOSED DECK AREA MUST BE P.T. OR LISTED FOR EXPOSED EXTERIOR USE OR COMPOSITE.
- ALL HEADERS SHALL BE DBL. 2X10 OVER EXTERIOR OR LOAD BEARING DOORS & WINDOWS (UNLESS NOTED OTHERWISE).
- WATER LINES TO BE PEX (OR COPPER) AND DRAIN LINES PVC.
- HOSE BIBS TO BE FROST FREE.
- ALL EXTERIOR, KITCHEN, BATHROOM, GARAGE AND BASEMENT OUTLETS SHALL BE ON GFCI CIRCUIT PER UBC REQUIREMENTS.
- PROVIDE SMOKE DETECTORS IN AND OUTSIDE OF AND IN VICINITY OF SLEEPING ROOMS, CARBON MONOXIDE DETECTORS OUTSIDE OF AND IN VICINITY OF SLEEPING ROOMS.
- SMOKE DETECTORS SHALL BE CONNECTED TO ALL OTHERS AND ON A DEDICATED CIRCUIT.
- ALL DIMENSIONS FROM THE EXTERIOR FACE OF WALL ARE FROM THE FACE TO THE SHEATHING (WHICH ALSO EQUALS THE FACE OF THE CONCRETE FOUNDATION WALL).
- ALL INTERIOR DIMENSIONS ARE FROM THE FACE OF STUDS AND USING ACTUAL DIMENSIONS OF 3 1/2" & 5 1/2" AS REQUIRED.
- PROVIDE ALL BLOCKING AND BACKING AS NECESSARY FOR CABINETS, HANDRAILS, DRAPERIES AND ACCESSORIES.
- LUMBER USED FOR FURRING OUT CONCRETE WALLS SHALL BE P.T.
- ALL EXTERIOR DOORS (OTHER THAN STORAGE) TO BE INSULATED, INSTALLED WITH 4" x 4" SPRING HINGES.
- VERIFY ALL FLOORING WITH OWNER.
- ALL UNIT ENTRY DOORS SHALL BE 1 HR. RATED. ALL CORRIDOR WALLS ON SECOND FLOOR SHALL BE 1 HR. RATED.

## Legend

- 1 HR WALL, SEE ASSEMBLIES
- INDICATES ACCESSIBILITY
- 20 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE
- 60 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE
- 90 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE

### AREA CALCULATIONS (S.F.)

COMMON AREAS:	LEASED COMM. AREAS:	LEASED RES. UNITS AREAS:
HALL (INC. STAIR) = 561	SPACE A STORAGE = 170	STORAGE 1 = 52
ELEV. = 34	SPACE B STORAGE = 170	STORAGE 2 = 52
	SPACE C STORAGE = 88	STORAGE 3 = 52
BLDG STORAGE = 30 + 251	SPACE D STORAGE = 86	STORAGE 4 = 53
MECHANICAL = 125		STORAGE 5 = 53
		STORAGE 6 = 53

### ISSUE

- Variance Submittal
- Health Department Permit Set
- Final Permit Submittal
- Issued For Construction
- As-Built Drawings

### REVISIONS

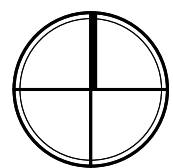
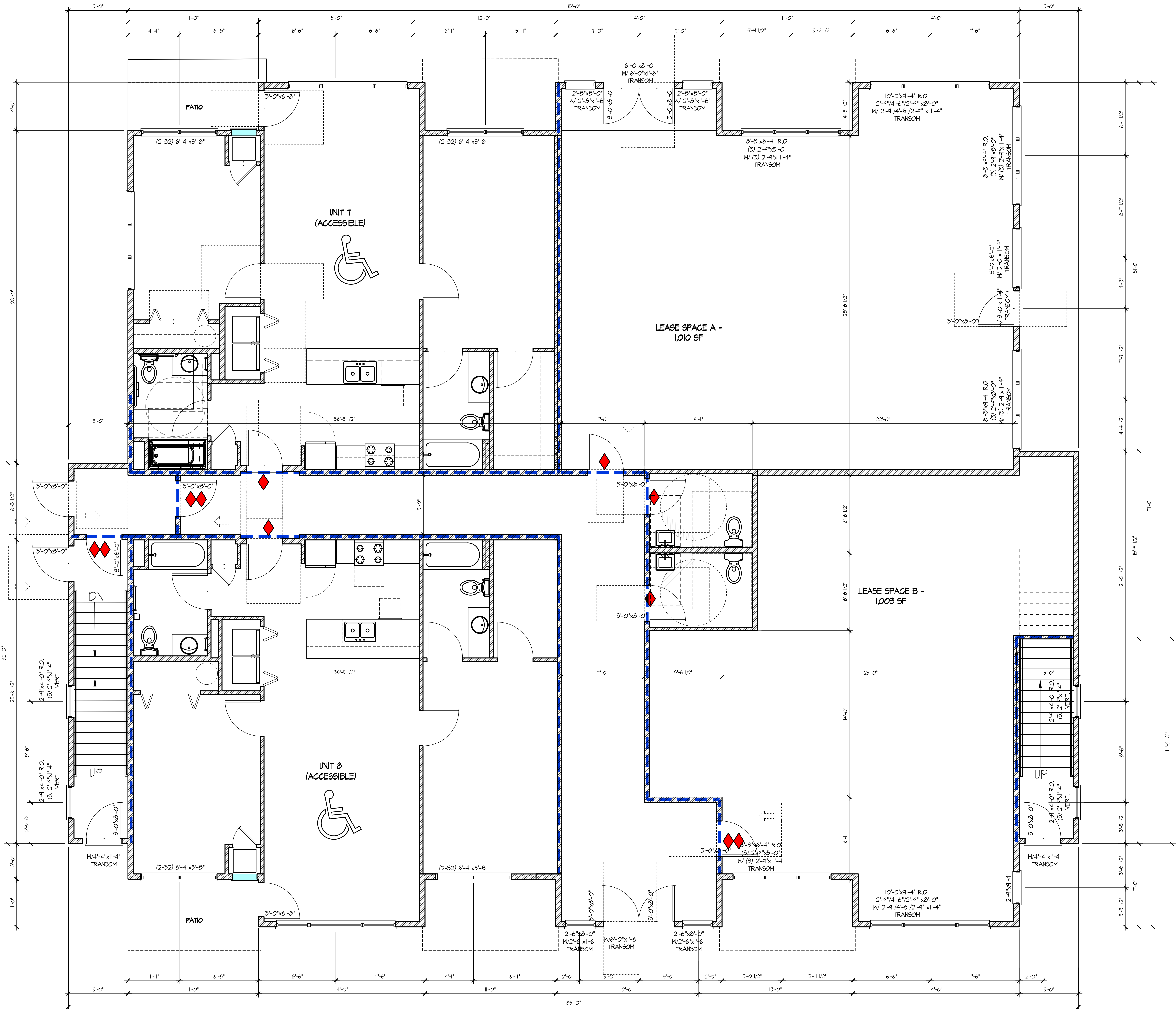
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Project Number 23.023  
Date 08.12.2024

**BASEMENT LEVEL**  
**FLOOR PLAN**

**A2.0**





Main Level Plan

SCALE: 1/4" = 1'-0"

OVERALL SF = 5,384 SF

General Notes:

- ALL BEDROOMS TO HAVE EGRESS WINDOWS SEE PLAN; VERIFY WITH MANUFACTURER.
- ALL DOORS TO HAVE FOLLOWING LOCK SETS:
  - ENTRY - UNIT ENTRIES, STORAGE, DECK/PORCH DOORS.
  - PRIVACY - BEDROOMS BATHROOMS
  - PASSAGE - CLOSETS, STORAGE, LAUNDRY, LINEN
  - STOREROOM - MECH. ROOM
- ALL INTERIOR WALLS ARE 2X4 (1-G) WOOD STUD WALLS U.N.O. SEE ASSEMBLIES SHEET.
- REFERENCE WINDOW HEAD HEIGHT ON BUILDING SECTIONS AND ELEVATIONS FOR ALL WINDOWS. SILL FOR EGRESS WINDOWS IN BEDROOMS SHALL NOT BE GREATER THAN 44" FROM THE FINISHED FLOOR - VERIFY W/ WINDOW MFR.
- BID FIBERGLASS WINDOWS AS BASE W/ GLAD WINDOW AS ALTERNATE.
- ALL WINDOWS TO BE STANDARD INSULATED GLASS OR BETTER.
- WINDOW MANUFACTURER TO PROVIDE ALL ROUGH OPENINGS, TYP.
- CONTRACTOR SHALL VERIFY ALL SIZES & QUANTITIES OF WINDOWS. THE FOLLOWING LOCATIONS OF GLAZING SHALL BE CONSIDERED HAZARDOUS LOCATIONS ("TEMPERED"):
  - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SF.
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR
  - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36" ABOVE THE FLOOR
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36" INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OR EITHER VERTICAL EDGE OF THE DOOR IN THE CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
  - GLAZING IN ALL DOORS.
  - GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMP SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
- PROVIDE 20"x36" ATTIC ACCESS FIELD VERIFY LOCATION. MINIMUM HEADROOM ABOVE ALL ATTIC ACCESSSES TO BE 30" - VERIFY.
- OWNER TO SELECT ENTRY DOOR STYLE.
- ALL CONSTRUCTION SHALL CONFORM TO THE MOST CURRENT IBC REQUIREMENTS.
- SETBACKS AND SIDE YARDS SHALL CONFORM TO LOCAL REGULATIONS - ALL POURED CONCRETE FOOTINGS COLUMNS AND WALLS SHALL BE ON UNDISTURBED VIRGIN SOIL.
- ALL LUMBER SHALL BE NO. 2 OR BETTER FIR & LARCH.
- JOISTS, BEAMS & COLUMNS EXPOSED TO WEATHER TO BE P.T.
- LUMBER USED FOR EXPOSED DECK AREA MUST BE P.T. OR LISTED FOR EXPOSED EXTERIOR USE OR COMPOSITE.
- ALL HEADERS SHALL BE DBL. 2X10 OVER EXTERIOR OR LOAD BEARING DOORS & WINDOWS (UNLESS NOTED OTHERWISE).
- WATER LINES TO BE PEX (OR COPPER) AND DRAIN LINES PVC.
- HOSE BIBS TO BE FROST FREE.
- ALL EXTERIOR, KITCHEN, BATHROOM GARAGE AND BASEMENT OUTLETS SHALL BE ON GFCI CIRCUIT PER UBC REQUIREMENTS.
- PROVIDE SMOKE DETECTORS IN AND OUTSIDE OF AND IN VICINITY OF SLEEPING ROOMS, CARBON MONOXIDE DETECTORS OUTSIDE OF AND IN VICINITY OF SLEEPING ROOMS.
- SMOKE DETECTORS SHALL BE CONNECTED TO ALL OTHERS AND ON A DEDICATED CIRCUIT.
- ALL DIMENSIONS FROM THE EXTERIOR FACE OF WALL ARE FROM THE FACE TO THE SHEATHING (WHICH ALSO EQUALS THE FACE OF THE CONCRETE FOUNDATION WALL)
- ALL INTERIOR DIMENSIONS ARE FROM THE FACE OF STUDS AND USING ACTUAL DIMENSIONS OF 3 1/2" & 5 1/2" AS REQUIRED.
- PROVIDE ALL BLOCKING AND BACKING AS NECESSARY FOR CABINETS, HANDRAILS, DRAPERIES AND ACCESSORIES.
- LUMBER USED FOR FURRING OUT CONCRETE WALLS SHALL BE P.T.
- ALL EXTERIOR DOORS (OTHER THAN STORAGE) TO BE INSULATED, INSTALLED WITH 4" x 4" SPRING HINGES.
- VERIFY ALL FLOORING WITH OWNER.
- ALL UNIT ENTRY DOORS SHALL BE 1 HR RATED. ALL CORRIDOR WALLS ON SECOND FLOOR SHALL BE 1 HR RATED.

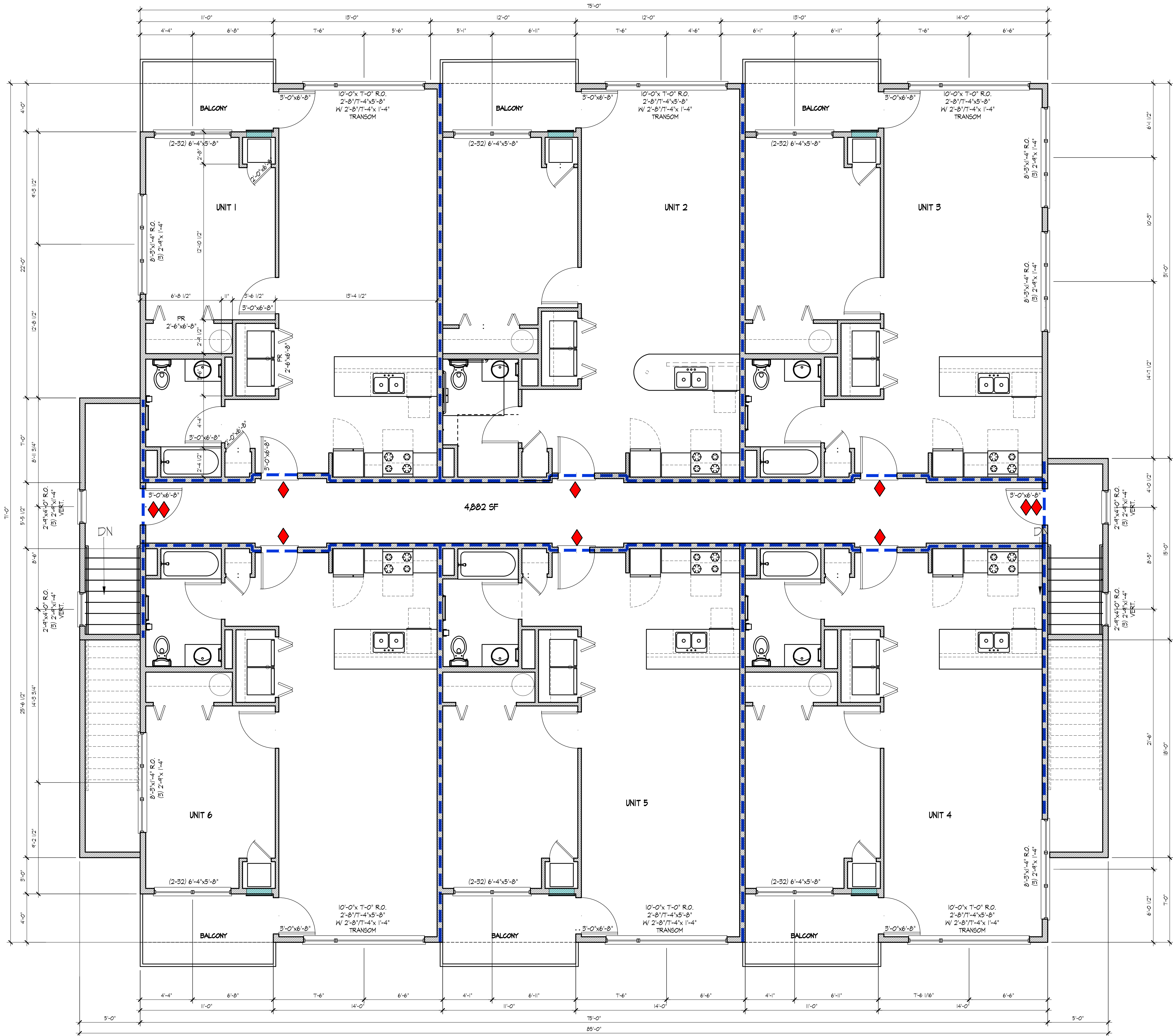
Legend

- 1 HR WALL, SEE ASSEMBLIES
- INDICATES ACCESSIBILITY
- 20 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE
- 60 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE
- 90 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE

AREA CALCULATIONS (S.F.)

COMMON AREAS:	LEASED COMM. AREAS:
HALL = 434	SPACE A = 1,010
LOBBY = 24	SPACE B = 1,003
STAIR = 164	UNIT 7 = 1,023
STAIR = 178	UNIT 8 = 1,023
RESTROOMS = 112	





Upper Level Plan

OVERALL SF = 5,275 SF

### General Notes:

- ALL BEDROOMS TO HAVE EGRESS WINDOWS SEE PLAN; VERIFY WITH MANUFACTURER.
- ALL DOORS TO HAVE FOLLOWING LOCK SETS:
  - ENTRY - UNIT ENTRIES, STORAGE, DECK/PORCH DOORS.
  - PRIVACY - BEDROOMS, BATHROOMS.
  - PASSAGE - CLOSETS, STORAGE, LAUNDRY, LINEN.
  - STOREROOM - MECH. ROOM.
- ALL INTERIOR WALLS ARE 2X4 (I-C) WOOD STUD WALLS U.N.O. SEE ASSEMBLIES SHEET.
- REFERENCE WINDOW HEAD HEIGHT ON BUILDING SECTIONS AND ELEVATIONS FOR ALL WINDOWS. SILL FOR EGRESS WINDOWS IN BEDROOMS SHALL NOT BE GREATER THAN 44" FROM THE FINISHED FLOOR - VERIFY W/ WINDOW MFR.
- BID FIBERGLASS WINDOWS AS BASE W/ GLAD WINDOW AS ALTERNATE.
- ALL WINDOWS TO BE STANDARD INSULATED GLASS OR BETTER.
- WINDOW MANUFACTURER TO PROVIDE ALL ROUGH OPENINGS, TYP.
- CONTRACTOR SHALL VERIFY ALL SIZES & QUANTITIES OF WINDOWS. THE FOLLOWING LOCATIONS OF GLAZING SHALL BE CONSIDERED HAZARDOUS LOCATION (TEMPERED):
  - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 4 SF.
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR.
  - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36" ABOVE THE FLOOR.
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36" INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24" ARC OR EITHER VERTICAL EDGE OF THE DOOR IN THE CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
  - GLAZING IN ALL DOORS.
  - GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMP SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.
- PROVIDE 20"x36" ATTIC ACCESS FIELD. VERIFY LOCATION. MINIMUM HEADROOM ABOVE ALL ATTIC ACCESSSES TO BE 50" - VERIFY.
- OWNER TO SELECT ENTRY DOOR STYLE.
- ALL CONSTRUCTION SHALL CONFORM TO THE MOST CURRENT IBC REQUIREMENTS.
- SETBACKS AND SIDE YARDS SHALL CONFORM TO LOCAL REGULATIONS - ALL POURED CONCRETE FOOTINGS COLUMNS AND WALLS SHALL BE ON UNDISTURBED VIRGIN SOIL.
- ALL LUMBER SHALL BE NO. 2 OR BETTER FIR & LARCH.
- JOISTS, BEAMS & COLUMNS EXPOSED TO WEATHER TO BE P.T.
- LUMBER USED FOR EXPOSED DECK AREA MUST BE P.T. OR LISTED FOR EXPOSED EXTERIOR USE OR COMPOSITE.
- ALL HEADERS SHALL BE DBL. 2X10 OVER EXTERIOR OR LOAD BEARING DOORS & WINDOWS (UNLESS NOTED OTHERWISE).
- WATER LINES TO BE PEX (OR COPPER) AND DRAIN LINES PVC.
- HOSE BIBS TO BE FROST FREE.
- ALL EXTERIOR, KITCHEN, BATHROOM, GARAGE AND BASEMENT OUTLETS SHALL BE ON GFCI CIRCUIT PER NEC REQUIREMENTS.
- PROVIDE SMOKE DETECTORS IN AND OUTSIDE OF AND IN VICINITY OF SLEEPING ROOMS, CARBON MONOXIDE DETECTORS OUTSIDE OF AND IN VICINITY OF SLEEPING ROOMS.
- SMOKE DETECTORS SHALL BE CONNECTED TO ALL OTHERS AND ON A DEDICATED CIRCUIT.
- ALL DIMENSIONS FROM THE EXTERIOR FACE OF WALL ARE FROM THE FACE TO THE SHEATHING (WHICH ALSO EQUALS THE FACE OF THE CONCRETE FOUNDATION WALL).
- ALL INTERIOR DIMENSIONS ARE FROM THE FACE OF STUDS AND USING ACTUAL DIMENSIONS OF 3 1/2" & 5 1/2" AS REQUIRED.
- PROVIDE ALL BLOCKING AND BACKING AS NECESSARY FOR CABINETS, HANDRAILS, DRAPERIES AND ACCESSORIES.
- LUMBER USED FOR FURRING OUT CONCRETE WALLS SHALL BE P.T.
- ALL EXTERIOR DOORS (OTHER THAN STORAGE) TO BE INSULATED, INSTALLED WITH 4" x 4" SPRING HINGES.
- VERIFY ALL FLOORING WITH OWNER.
- ALL UNIT ENTRY DOORS SHALL BE 1 HR RATED. ALL CORRIDOR WALLS ON SECOND FLOOR SHALL BE 1 HR RATED.

### Legend

- 1 HR WALL, SEE ASSEMBLIES
- INDICATES ACCESSIBILITY
- 20 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE
- 60 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE
- 90 MIN. DOOR AND FRAME, SEE DOOR SCHEDULE

### AREA CALCULATIONS (SF)

COMMON AREAS:	LEASED RES. UNITS AREAS:
HALL = 380	UNIT 1 = 840 (BALCONY = 62)
LOBBY = 106	UNIT 2 = 849 (BALCONY = 64)
	UNIT 3 = 849 (BALCONY = 64)
	UNIT 4 = 849 (BALCONY = 64)
	UNIT 5 = 849 (BALCONY = 64)
	UNIT 6 = 840 (BALCONY = 62)





## South Elevation

SCALE: 1/4" = 1'-0"



## East Elevation

SCALE: 1/4" = 1'-0"

## Elevation Material Legend

	PREFINISHED SMOOTH HARDIE PANEL SIDING W/ REGLET
	NAKAMOTO FORESTRY SHOU SUGI BAN HORIZONTAL WOOD SIDING
	HORIZONTAL BLACK GUARDRAIL
	METAL C-CHANNEL



## Willow Wood Village

LOT 4  
MISSOULA, MONTANA

ISSUE
● Preliminary - Not For Construction
○ Health Department Permit Set
○ Final Permit Submittal
○ Issued For Construction
○ As-Built Drawings

REVISIONS
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Project Number 23.023  
Date 10.18.2023

SOUTH & EAST  
BUILDING ELEVATIONS

A4.1





## Elevation Material Legend

	PREFINISHED SMOOTH HARDIE PANEL SIDING W/ REGLET
	NAKAMOTO FORESTRY SHOU SUGI BAN HORIZONTAL WOOD SIDING
	HORIZONTAL BLACK GUARDRAIL
	METAL C-CHANNEL



## West Elevation

SCALE: 1/4" = 1'-0"

## Willow Wood Village LOT 4 MISSOULA, MONTANA

ISSUE
● Preliminary - Not For Construction
○ Health Department Permit Set
○ Final Permit Submittal
○ Issued For Construction
○ As-Built Drawings

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Project Number 23.023  
Date 10.18.2023

## NORTH & WEST BUILDING ELEVATIONS

# A4.2





Perspective - Southwest View from Parking Lot

NOT TO SCALE



Perspective - Northeast View

NOT TO SCALE



Perspective - Southeast View from Parking Lot





NOT TO SCALE

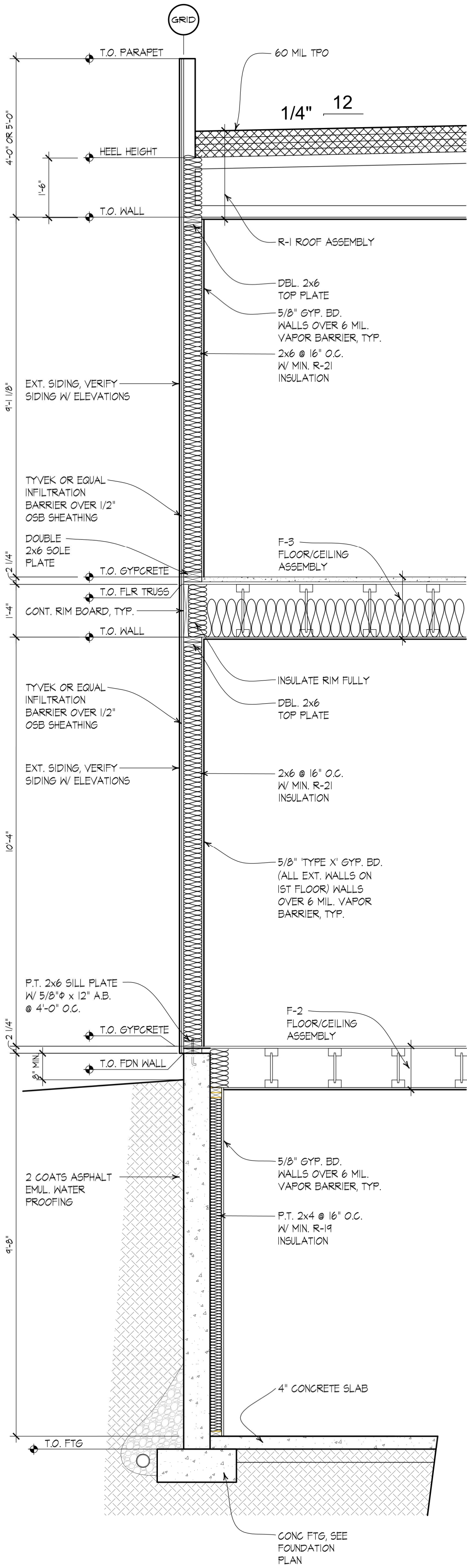


Perspective - Northwest View

NOT TO SCALE

### Elevation Material Legend

-  PREFINISHED SMOOTH HARDIE PANEL SIDING W/ REGLET
-  NAKAMOTO FORESTRY SHOU SUGI BAN HORIZONTAL WOOD SIDING
-  HORIZONTAL BLACK GUARDRAIL
-  METAL C-CHANNEL



Typical Wall Section

SCALE: 1/2" = 1'-0"